

DESIGN GUIDELINES

STRAWBERRY VISTA SUBDIVISION

I. PURPOSE AND USE

A. PURPOSE

The Strawberry Vista Subdivision is a 64-lot subdivision approved for the development of 64 single-family detached residential units. The approval, granted in 1989, and modified several times in the intervening years, included specific plans for the basic improvements of the subdivision (roadways, drainage, grading, and major landscape elements) and development standards which established the basic building envelopes¹ for each of the lots (please refer to Attachment 1). Because the subdivision's approval did not include specific architectural designs, development of each of the lots will be reviewed through the design review process conducted by the Marin County Community Development Agency as outlined in Chapter 22.82 of the Marin County Code.² To facilitate a consistent, fair and expeditious design review process Design Guidelines for all development in the subdivision have been prepared. The Design Guidelines will be used by Marin County to evaluate all development proposals.

These Guidelines seek to achieve architectural harmony among the Strawberry Vista development, the natural hillside site, and the surrounding community through the development of homes that respect the topography and natural vegetation of their setting, incorporate earth tone materials and colors, and reflect the architectural styles which are common in Southern Marin and consistent with the hillside setting. These Guidelines incorporate and further define the development standards set forth in the Precise Development Plan and Tentative Map approvals with amendments for the Strawberry Vista Subdivision.³

B. DESIGN REVIEW PROCESS

The County of Marin conducts design review on all properties located in planned district zoning categories before the issuance of building permits, including lots located in the Strawberry Vista Subdivision. The design review process and required findings for approval are authorized in Marin County Code Chapter 22.82. The County Code states that the purpose of design review is to promote the harmonious development of neighborhoods and the protection of the character of existing communities.

In order to encourage property owners, architects, engineers, landscape architects, and the design community to develop plans and designs that control the visual impact of development at Strawberry

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- ¹ The "building envelope" is the area of a lot within which a building or structure may be sited. The building envelope does not convey entitlement with regard to the maximum size, area, height, or coverage of a lot.
 - ² Before the development of these Guidelines the Marin County Planning Commission approved the design of two single-family detached residential below market rate units to be constructed on Lots 1 and 64 of the Subdivision.
 - ³ The Precise Development Plan and Tentative Map approvals for this project include the following Planning Commission Actions: Resolution 4172 Precise Development Plan and Tentative Map, Resolution 91-0112 Precise Development Plan and Tentative Map Amendment, Resolution 93-107 Precise Development Plan and Tentative Map Amendment.

Vista and that reflect the goals and policies of the Marin Countywide Plan, the Marin County Code, the Strawberry Community Plan, the Strawberry Vista Homeowner's Association and the neighboring Strawberry community, this document presents standards and guidelines which will be applied to the design review process. Any quantified standard in these Guidelines is not a property entitlement but a maximum limit to be considered in the review process. The Community Development Director will refer all design review applications to the Strawberry Vista Home Owners' Association Architectural Review Committee and the Strawberry Design Review Board for review.

C. DESIGN SUBMITTAL REQUIREMENTS

In order to provide adequate information for the design review process and assist in the application of these Guidelines to individual residences, the information listed below will be required in the application package for design review approvals in the Strawberry Vista Subdivision in addition to the standard submittal materials required for design review.

- The design, location, building materials, and color of mailboxes, trash enclosures, patios and walkways and other site design features that affect exterior appearance shall be considered as part of design review.
- All exterior building materials, exterior wall and finish colors and roofing materials on a materials board no larger than 8 inches wide and 12 inches long shall be submitted to the Community Development Agency for consideration during the design review process.
- Story poles may be required through design review. If story poles are required, orange construction netting or other material acceptable to the Community Development Agency Director which clearly and accurately demonstrates maximum heights of roof ridges may also be required. The material shall be at least 3 feet wide and must be installed at the base and ridgeline of the poles to represent height, mass, and bulk of the proposed residence. All material must be supported by stakes or support wires strong enough to accurately maintain the outline of the building perimeter and height.
- Landscape plans shall be submitted for consideration in the design review process and shall include proposed plant locations, species type by common and scientific name, container size at time of planting, ultimate height of shrubs and trees, and provisions for irrigation.
- Calculations of floor area ratio for the main structure, garage and accessory structures according to these Guidelines shall be provided with application materials.
- A current lot-specific soils report and foundation recommendation and design prepared by a qualified engineer shall be submitted with each design review application.

II. MARIN COUNTY CODE OBJECTIVES

A. RELATIONSHIP OF THE GUIDELINES TO THE COUNTY CODE

The design review process administered by the County of Marin requires the County to find that projects can meet the design objectives contained in Section 22.82.040 of Marin County Code. In order to facilitate a consistent application of these objectives, these Guidelines list the standard County required objectives and further define how these are to be interpreted for the Strawberry Vista Subdivision.

B. OBJECTIVES (1-6)

OBJ 1. The proposed structure will properly and adequately perform or satisfy its functional requirements without being unsightly or create a substantial disharmony with its locale and surroundings.

OBJ 2. It will not impair, or interfere with, the development, use, or enjoyment of other property in the vicinity, or the orderly and pleasing development of the neighborhood as a whole, including public lands and rights-of-way.

OBJ 3. It will not indirectly, or in a cumulative fashion, impair, inhibit, or limit further investment or improvements in the vicinity, on the same or other properties, including public lands and rights-of-way.

OBJ 4. It will be properly and adequately landscaped with maximum retention of trees and other natural material.

OBJ 5. It will minimize or eliminate adverse physical or visual effects which might otherwise result from unplanned or inappropriate development, design, or juxtaposition. Adverse effects may include, but are not limited to, those produced by the design and location characteristics of:

5a. The scale, mass, height, area and materials of buildings and structures shall be minimized;

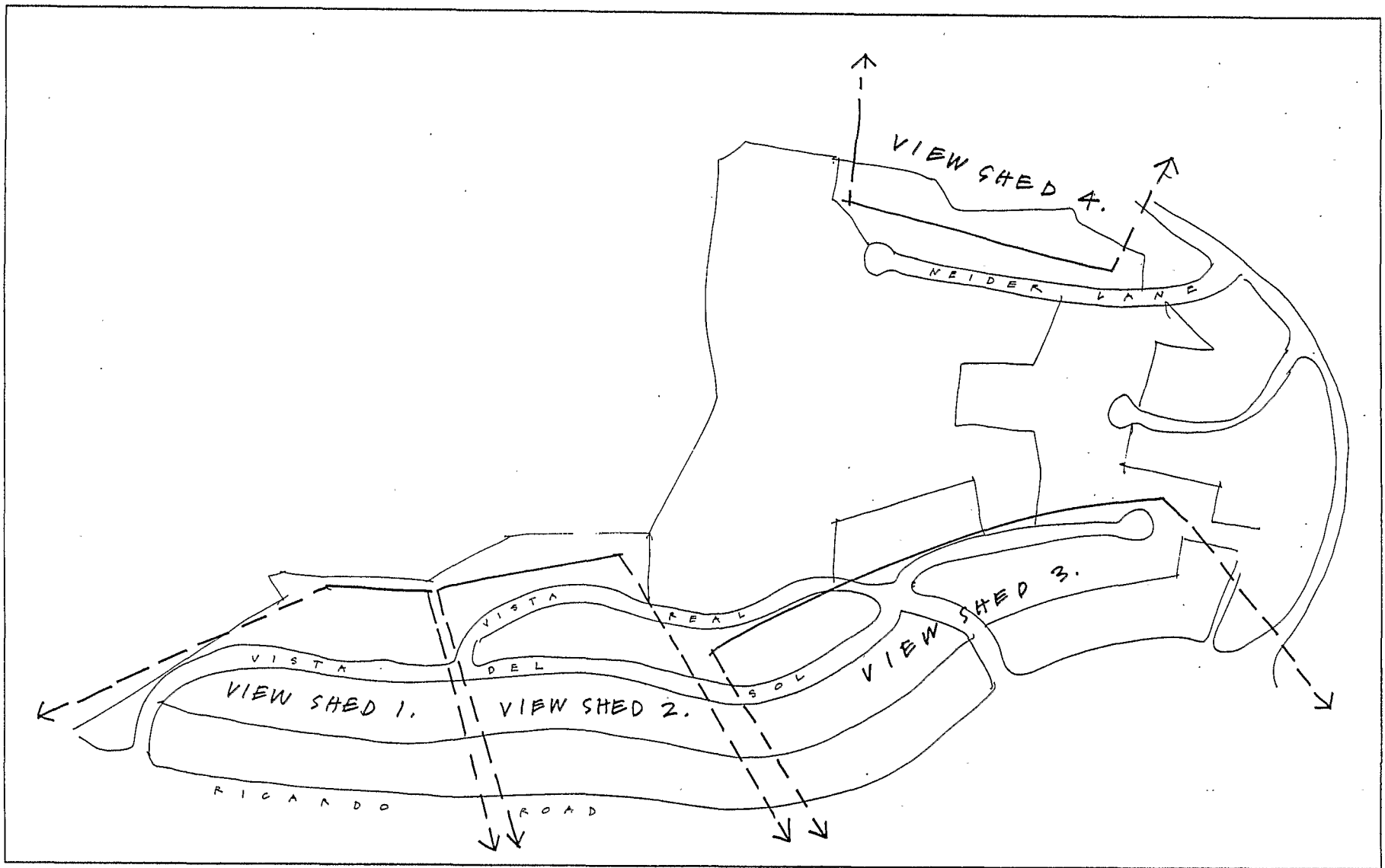
5b. Drainage systems and appurtenant structures;

5c. Cut and fill or the reforming of the natural terrain, and structures appurtenant thereto such as retaining walls and bulkheads;

5d. Areas, paths, and rights-of-ways for the containment, movement or general circulation of persons, animals, vehicles, conveyances, and water craft; and

5e. Other developments or improvements which may result in a diminution or elimination of sun and light exposure, views, vistas, and privacy.

OBJ 6. It may contain roof overhang, roofing material, and siding material that are compatible both with the principles of energy-conserving design and with the prevailing architectural style in the neighborhood.



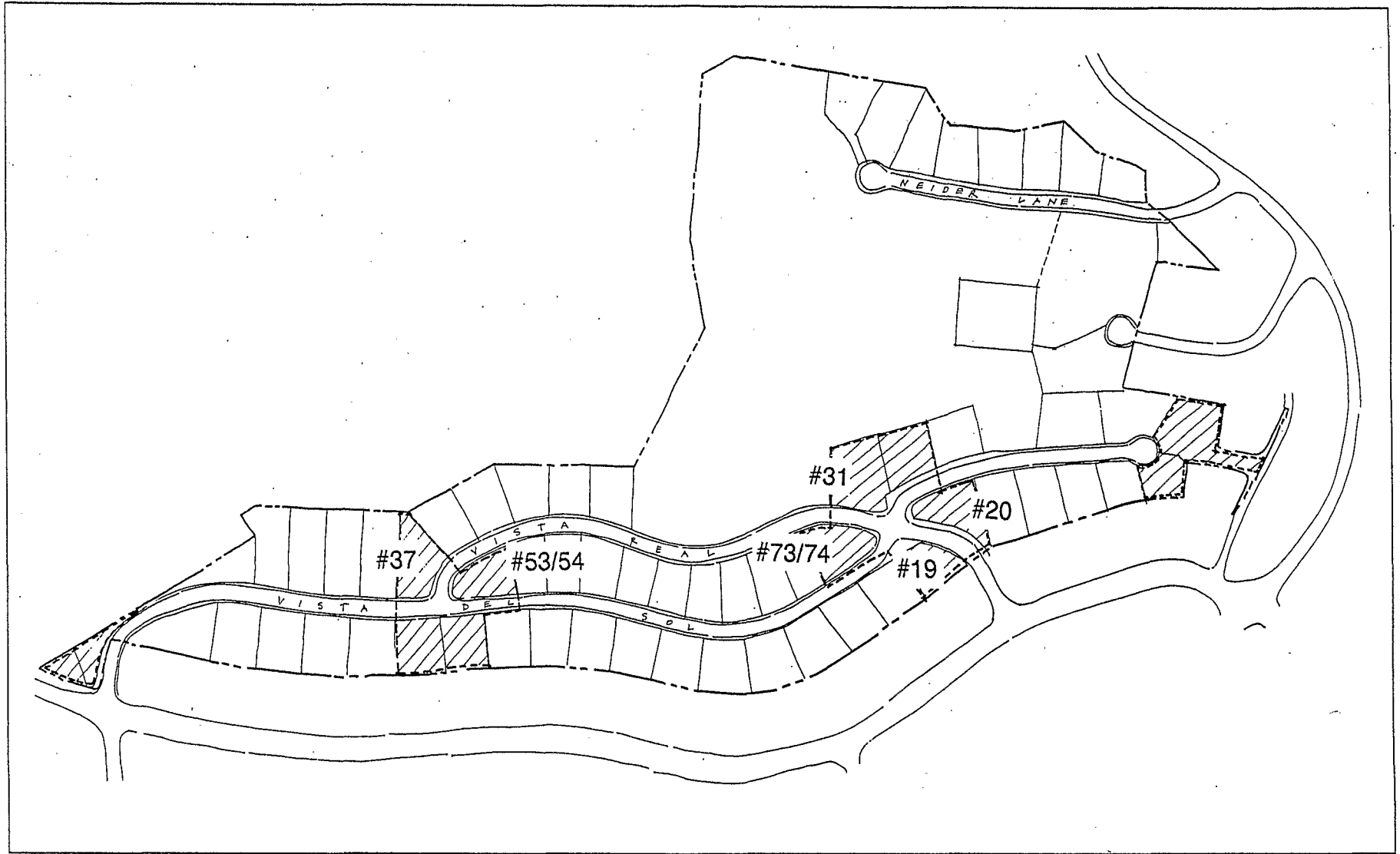
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General View Shed Zones

Strawberry Vista has areas that enjoy distinctively different views. Homes in these areas should be designed with existing and future development in mind to allow opportunities for views from each lot. The guidelines outline requirements for shaping houses and landscape design to help preserve views. However, these Guidelines cannot ensure total privacy from lot to lot or protect views from on-site to off-site vistas.

STRAWBERRY VISTA DESIGN GUIDELINES

FIGURE A.2

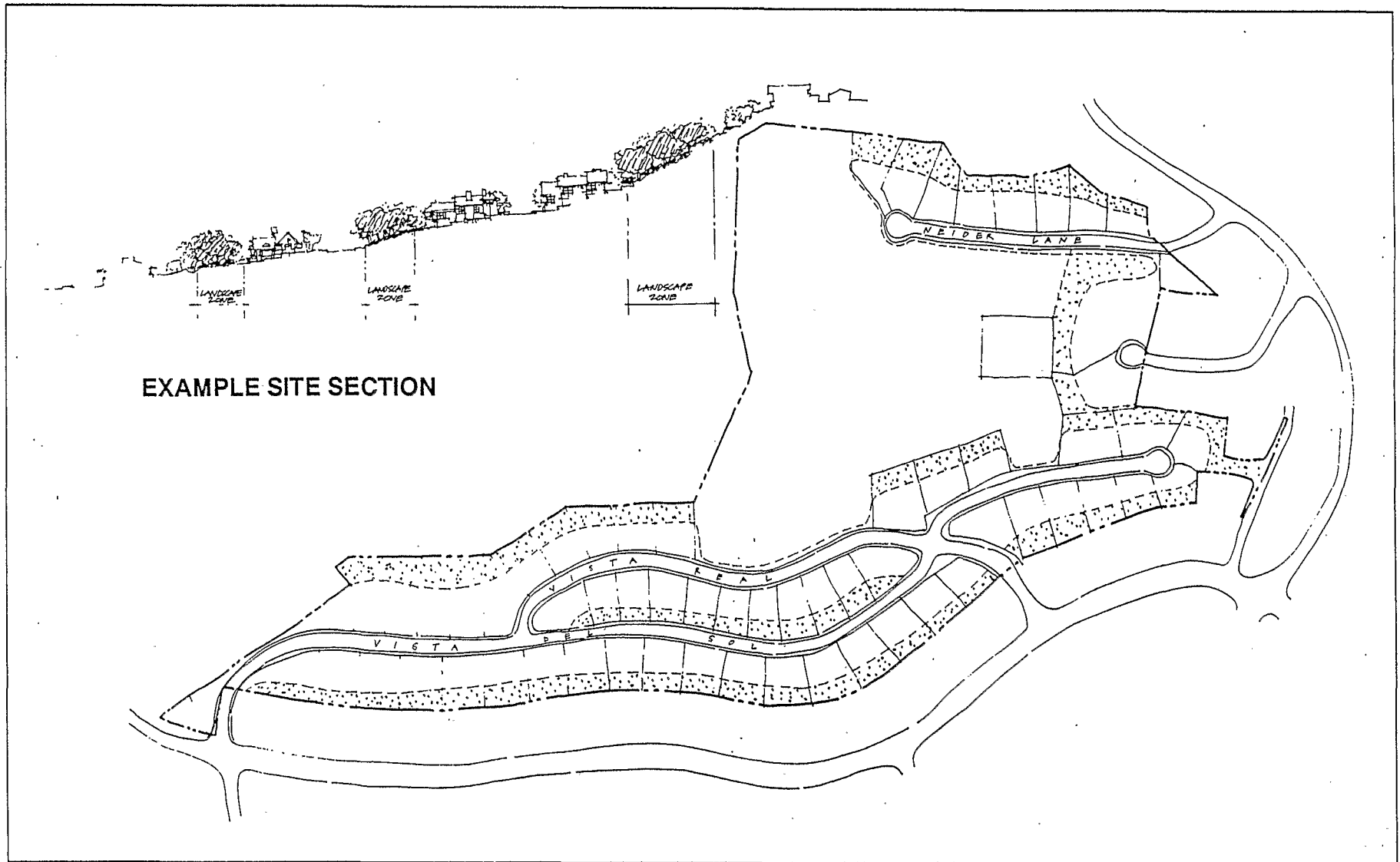


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Visible Corner Sites

Corner lots will play a more important role in the eventual character of the neighborhood. Sites at intersections and at visible ends of cul-de-sacs have special locational requirements for driveways, garages, house entries and architectural features.

STRAWBERRY VISTA DESIGN GUIDELINES



EXAMPLE SITE SECTION

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Landscape Zones

An overall objective for the Guidelines is to maintain a hillside that captures the landscape setting unique to Southern Marin. The Guidelines recommend landscaping zones that traverse the neighborhood. Over time, one of the neighborhood's defining characteristics should be the trees and hillside planting.

STRAWBERRY VISTA DESIGN GUIDELINES

III. STRAWBERRY VISTA DESIGN GUIDELINES

A. GENERAL REQUIREMENTS

Due to the high degree of visibility to adjacent residential neighborhoods, travelers on the highway, and Richardson Bay, homes on the Strawberry Vista site must be designed carefully to fit with the site and with each other. These Guidelines seek to promote the creation of a neighborhood that fits with surrounding communities and with the site. These Guidelines cannot ensure total privacy from lot to lot or protect views from on-site to off-site vistas. Figure A.1 suggests the view corridors that proposed homes should be encouraged to protect. Figures A.2 and A.3 identify lots and landscape concepts which must be designed to promote a neighborhood character within the subdivision.

GENERAL PRINCIPLES

The Strawberry Vista Design Guidelines are to provide a framework to assist the home owner and the community in designing houses that fit the hillside setting and make a positive contribution to the neighborhood.

B. SITING AND BUILDING MASSING

The attached Table of Standards indicates maximum height, maximum unit size, maximum garage area, and maximum primary and total floor area ratio for each lot in the subdivision. These standards are required by the Development Plan and Tentative Map approved for the Strawberry Vista Subdivision with amendments. In addition to these site-specific standards, these Guidelines describe how the scale, mass, height, area and building materials shall be designed to minimize visual impacts. The siting and massing principles listed below are illustrated in the attached Figures B.1 through B.4.

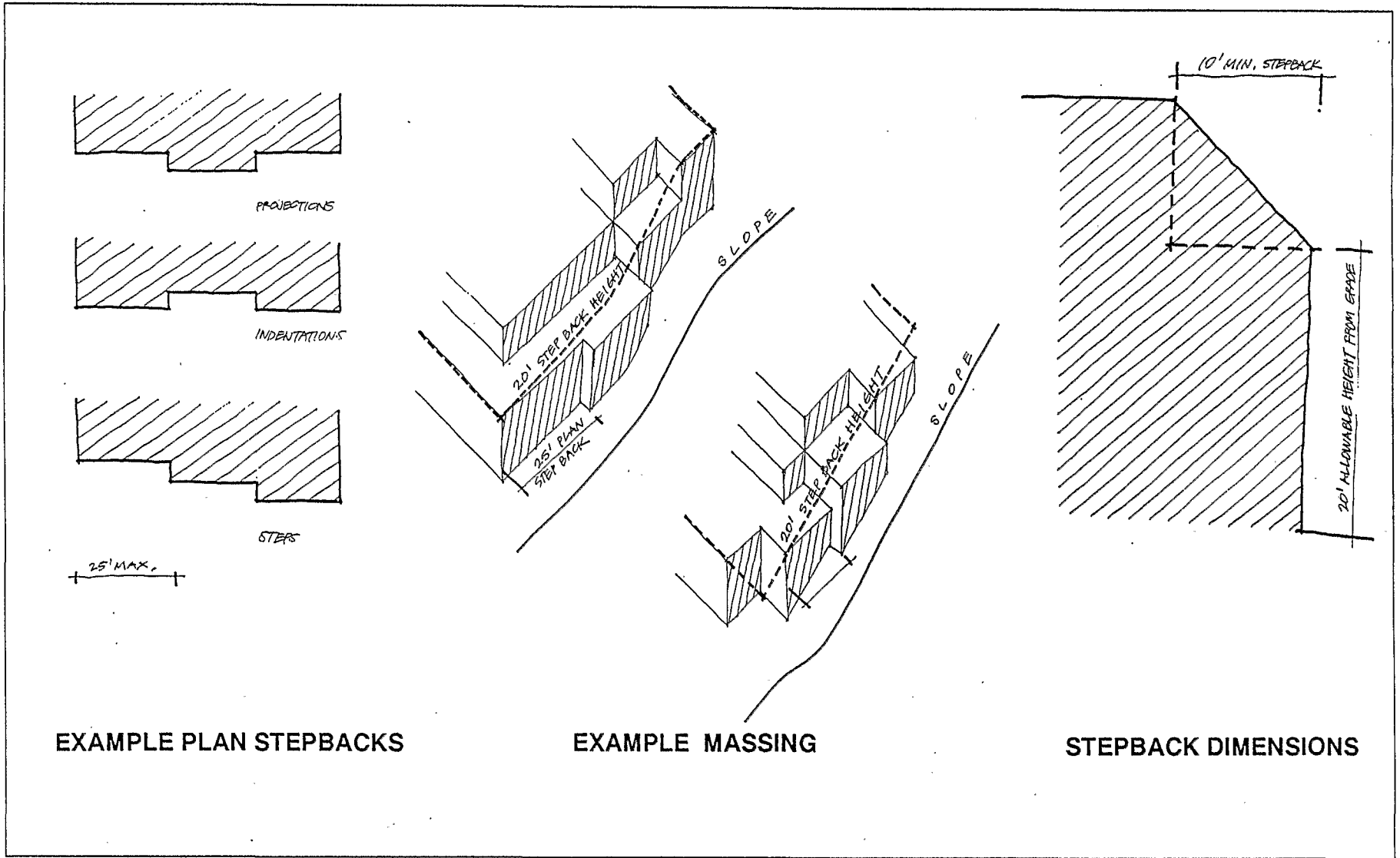
SITING AND MASSING PRINCIPLES

- 1. The design concepts for homes should reduce visual mass by manipulating building setbacks, stepbacks, roof variations, and visible wall area.**
- 2. Uphill views of homes should present a low-slung horizontal silhouette by integrating deck and foundation design into the shape of the building and site topography.**
- 3. Downhill views of homes should present a pleasing roofscape of low pitched gable and hip roofs.**
- 4. Homes on corner lots and lots at the visible ends of cul de sacs should be shaped to fit the neighborhood design and site characteristics of the Strawberry Vista.**
- 5. The design and location of driveways should minimize their presence.**

SITING AND MASSING GUIDELINES

- 1. Table of Standards** Buildings in the Strawberry Vista shall not exceed the standards specified in attached Table of Standards (Attachment One) and as approved in the Precise Development Plan and Tentative Map for the Strawberry Vista.
- 2. Allowable Floor Area** The result of the total square footage of all floors within buildings on any lot, divided by the area of the lot, and multiplied by 100 shall be defined as the floor area ratio

FIGURE B.1



EXAMPLE PLAN STEPBACKS

EXAMPLE MASSING

STEPBACK DIMENSIONS

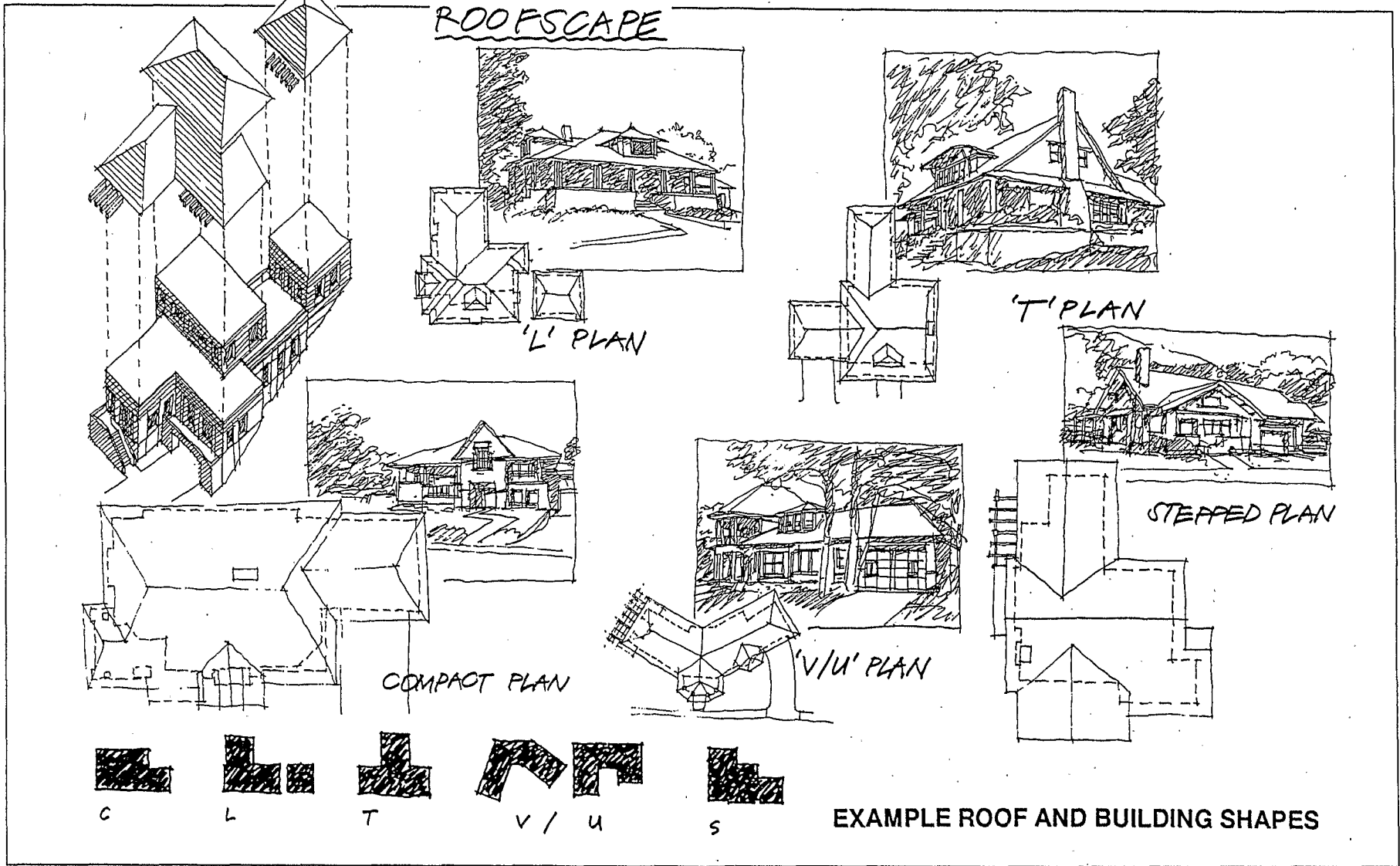
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Stepback Requirements

The guidelines require houses to be shaped in relation to the topography. The houses are to step up or down the lot parallel to the hill. To do this, the exterior walls are not allowed to exceed 20' in height without stepping back at least 10' and walls over one story should not exceed 25' in horizontal dimension. These diagrams illustrate two examples how this modifies the shape of a house.

STRAWBERRY VISTA DESIGN GUIDELINES

FIGURE B.2

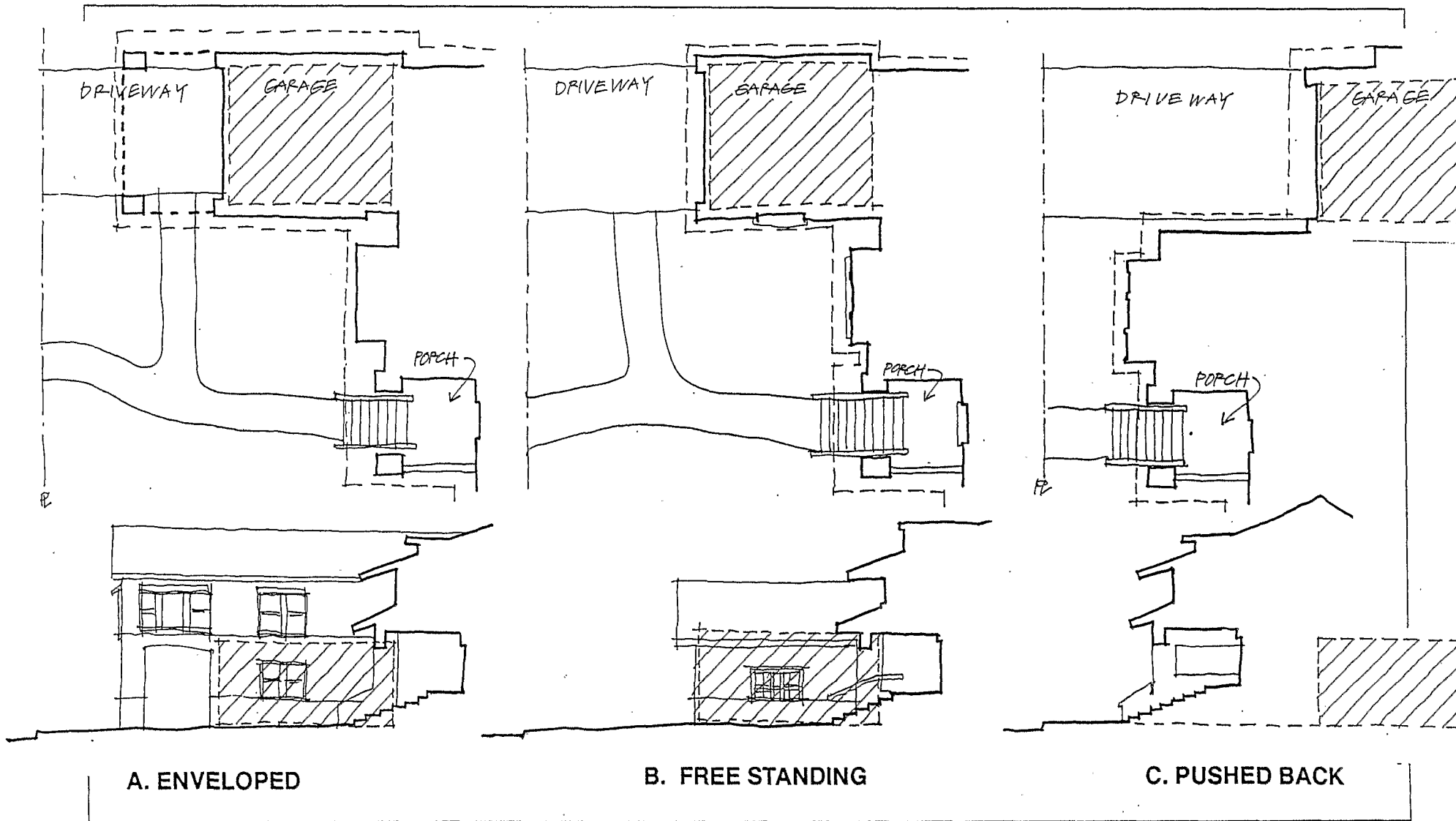


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Roofscape Examples

Unlike neighborhoods located on flat sites, a hillside community such as Strawberry Vista provides a view of neighbors' roofs. The Guidelines make an effort to reduce the problems created by insensitive roof design. The Guidelines require simple low to moderately sloped roofs of selected materials.

STRAWBERRY VISTA DESIGN GUIDELINES



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Garages

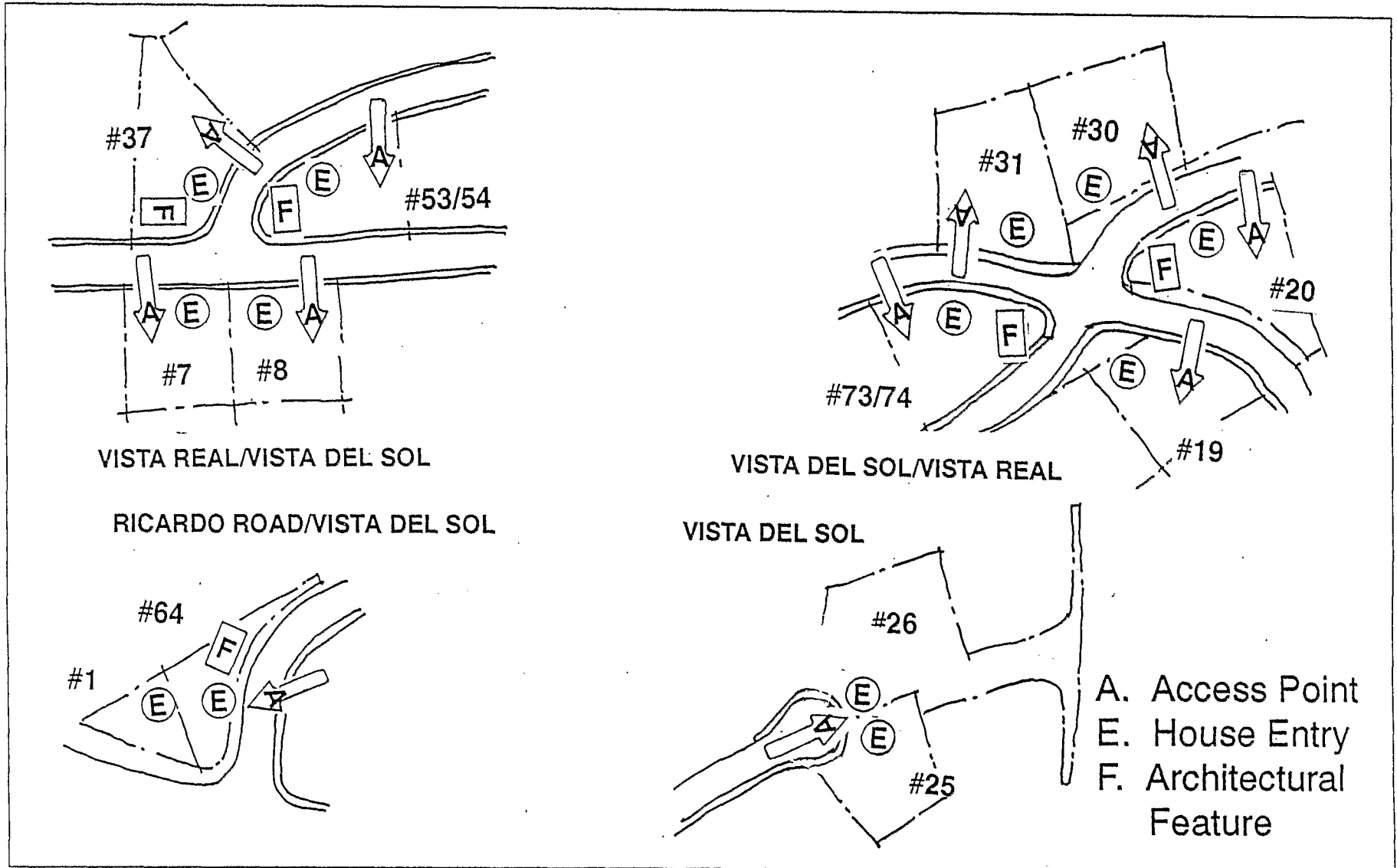
The siting of houses on steep hillside lots tends to pull garages close to the street. A primary characteristic of Strawberry Vista should not be one of driveways and garage doors. The Guidelines recommend that garages be enveloped into the building (A), treated as a free standing building (B) or pushed back away from the front of the house (C). Porches and other architectural elements should be featured in the site planning and architectural design.

STRAWBERRY VISTA DESIGN GUIDELINES

(FAR) and shall not exceed (1) 30% for the principal structure to a maximum of 4,500 square feet (2) 35% for the principal and accessory structures, including those accessory structures not designed or used for sleeping purposes. In accordance with the Master Plan and Development Plan, the area of a garage to a maximum of 500 square feet may be exempted entirely from floor area calculations. The square footage of any garage area in excess of 500 square feet shall be included in the allowable floor area calculations. The allowable floor area for each lot may not exceed the maximum unit size shown in the enclosed Table of Standards.

In the settlement of certain property line encroachments, several small areas of property were given to adjacent property owners. For those parcels from which such small areas were removed, as shown on the final map, the maximum principal structure size and total principal and accessory structure size for those lots may be calculated as described above, from the area within the boundaries before the small areas were removed.

3. Fence Siting Front yard fences shall be discouraged. Where permitted through design review, fences within a front yard shall not exceed a maximum height of 3'-6" unless located within the required building envelope. Fences which do not exceed a maximum height of six feet may extend from the front outside corners of a residence to connect with side yard fences.
4. Structural Design To Reduce Visible Mass Residential design shall avoid excessive cantilevers or overhangs on downhill elevations. Residential design shall also avoid using overhanging decks or decks on supporting poles that make buildings appear more massive from downhill lots.
5. Excess Subfloor Space Included in Allowable Floor Area If the vertical clearance under any subfloor exceeds 7'-6", as measured from the bottom of the subfloor joist or ceiling above to the lowest corner of the finished floor or the existing grade below, and if the subfloor has a minimum clear space horizontal dimension of 7'-0" by 7'-0", then that area of the subfloor shall be included in the allowable floor area calculations whether or not it is planned as habitable space.
6. Wall Height Stepback No vertical building walls shall exceed 20 feet in height, as measured from the lowest point on finished grade adjacent to the wall. Foundations or other structural elements under two feet in height may be excluded from the 20 foot limit. Any vertical walls above the 20 foot single wall height limit shall be stepped back from adjacent lower walls by a minimum distance of ten (10) feet. The wall height stepback guideline is to create greater visual separation between homes above the level of the first floor to reduce visible mass from downslope locations. Chimney masses less than six feet in width may be excluded from this requirement. (See Figure B.1).
7. Articulation of Exterior Walls Flat building walls over one story in height and over 25 feet in running horizontal dimension shall be discouraged to minimize unarticulated wall mass.
8. Excess Interior Space Included in Allowable Floor Area When ceiling height exceeds nine feet, any cubic volume over nine feet shall not exceed 45% of the cubic volume of the room area below nine feet. Any cubical volume over nine feet shall be calculated in the allowable FAR if it adds substantially to the bulk and mass of a structure. Interior atriums should be included in FAR calculations when they add to the bulk and mass of a structure.
9. Excess Porch or Covered Deck Space Included in Allowable Floor Area When a porch or deck that wraps around two or more sides of a structure, and which has with a permanent roof of at



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Special Requirements for Corner Lots

The Guidelines require garage and driveways to be placed away from intersections on uphill portions of lots. Home entries and architectural design features are to be postured towards intersections. Lots at the ends of cul-de-sacs are to locate their driveways and garages to the sides of the circles instead of at the visible end of the street.

least the same dimensions exceeds an average width of five feet as measured perpendicular to the adjacent wall from the exterior of the building wall to the inside of the porch or deck or wall or handrail, then the area of the porch or deck shall be included in the allowable floor area if it adds substantially to the bulk or mass of a structure.

10. Minimize Grading The topography of the subdivision was established during the course of constructing the subdivision improvements. To minimize additional grading, building designs should step up or down the hillsides. Grading shall be minimized for driveways, parking areas, and yards. Grading into the hillside to locate a structure and reduce its visual bulk is encouraged.
11. Siting for Minimum Grading and Retaining For downslope lots, garages and buildings should be sited as close to the street as practical while providing vehicular access and allowing for adequate off-street parking as required by other provisions of the Marin County Code so as to minimize grading for driveway ramps and front area landscaping. For upslope lots, garages, buildings, and driveways should be sited so as to minimize the size and height of driveway retaining walls and to avoid excessive cuts. Where possible, garages should be "straight-on" rather than "side-on" designs. Each lot must provide for at least two off-street guest parking spaces in addition to two garage parking spaces.
12. Structure Orientation In order to minimize visual impacts where lots are substantially longer in direction of the slope than lot width, residences should generally be oriented to present the narrow side of the home to the exposed view rather than the wide side.
13. Accessory Structures Accessory structures shall not exceed 15 feet in height above final grade and must be located within the building envelope. The maximum height of any architectural features or structures to be located outside of the building envelope shall be four feet or less. Accessory structures shall be sited to protect views and privacy.
14. Roof Design To reduce overall height, mass and bulk and avoid adverse visual impacts, roof pitches should not exceed a 9 and 12 pitch. Architectural features such as dormers are encouraged as long as they do not substantially increase the bulk and mass of the structure. Roof forms and roof lines should be broken into a series of smaller building components. Long, linear, unbroken roof lines are discouraged. Roof top decks shall be designed and located to minimize noise and privacy impacts to surrounding properties. (See Figure B.2).
15. Structure Height Structure height is to be measured from the final grade of the lot before the start of construction or from finished grade resulting from the residence design, whichever is more restrictive, and shall not exceed the limitations specified below:

Lots 1, 29-42, 53-64 30 feet.

Lots 2-25, 43-50: 25 feet and no portion higher than 18 feet plus the elevation of the street, measured at the centerline of the front property line.

Lots 26 and 27: 30 feet and no portion of a structure to be higher than the elevation of the top of the foundation for the house or houses on Inez Place directly upslope of the lot. The maximum elevation for Lot 26 shall be 226 feet and for Lot 27, 236 feet.

Lot 28: 30 feet and no portion of a structure to be higher than elevation 245 feet.

Lots 51 and 52: 18 feet. In addition, no water using fixture within Lots 51 and 52 is permitted to exceed elevation 281 feet, based on U.S.C.G.S. datum.

Excluded from the maximum height elevations set for each lot are the following: chimneys, kitchen range hood and bathroom ventilator hoods and housings, clothes dryer vents and venting pipes for plumbing, and other architectural features as determined to be appropriate by the Community Development Agency Director.

C. ARCHITECTURAL DESIGN

The incorporation of architectural styles found in Southern Marin and appropriate to the hillside location shall be encouraged to promote harmony and consistency within the subdivision and with surrounding communities while maintaining a high level of quality. The principles described below are illustrated in Figures C.1 and C.2.

PRINCIPLES FOR ARCHITECTURAL DESIGN

- 1. Architecture should be sensitive to the mass and siting of each house.**
- 2. Architectural designs should reflect Northern California regional characteristics and traditions.**
- 3. Design of accessory structures, retaining walls, and fences should be integral to the site and architectural design of each house.**

GUIDELINES FOR ARCHITECTURAL DESIGN

- 1. Regional Architecture Encouraged** Appropriate regional architectural styles which are encouraged include Arts and Crafts, Bay Area shingle, simple Victorian, California ranch, and other styles incorporating these Guidelines. Contemporary architecture harmonious with these Guidelines is encouraged.

Massive or ornate architectural elements which are inconsistent with the architectural styles described above are not appropriate to this site because they do not blend well with the hillside setting and would compete for visual attention. Such inappropriate elements tend to be associated with the following architectural styles: Romantic including Greek and Gothic Revival and Italianate, Tudor, Neoclassical, Chateausque, Beaux Arts, Romanesque, French Eclectic, Italian Renaissance, Mission, Pueblo Revival, and International and Bauhaus

Elements which are in particular to be discouraged because they are obtrusive by nature of their massing, ornamentation or structural form include the elements listed below:

- Columns, minarets, and towers which are inconsistent with or are out of scale with the architecture;
- Large, unbroken expanses of walls;
- Large areas of single-pane glass;
- Mirrored or other highly reflective glass;
- Plastic materials made to resemble masonry or stone;
- Excessive cantilevers or overhangs on downhill elevations;

- Overhanging decks or decks on elevated poles that make buildings appear more massive from downhill views.
2. Regional Architectural Elements Encouraged The following architectural elements and characteristics are encouraged:
- One-and two-story buildings in recessive colors with gabled, hipped, and shed roof forms at a low to moderate pitch, accented with appropriate architectural features such as dormers and bays that conform to the scale of the home;
 - Buildings and roof forms broken into compositions of smaller components to reflect the topography of the hillside setting. Building forms should be stepped to conform to site topography; and
 - Strong shade and shadow patterns created by careful variation of planes in building elevations, modest overhangs, projections recesses, and projecting windows. (See Figures C.1 and C.2).

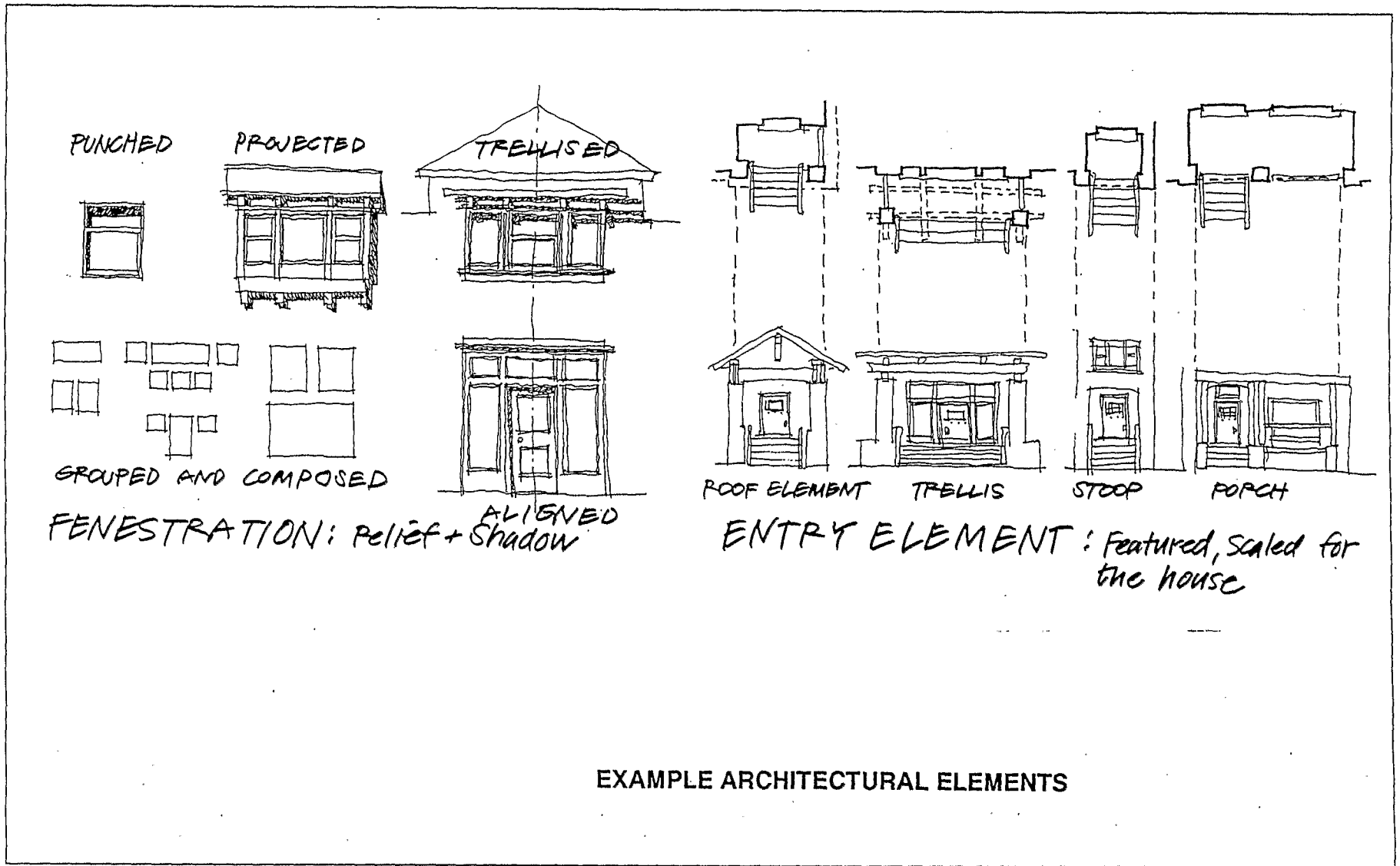
D. MATERIALS AND COLORS

PRINCIPLES

1. **Architectural concepts should utilize a limited number of compatible materials.**
2. **Materials used for accessory buildings and fences should be compatible with the architectural concept for the house.**
3. **Materials and colors should blend fencing, walls and houses into the hillside setting.**

GUIDELINES FOR MATERIALS AND COLORS

1. Exterior materials which compliment the hillside setting and existing residential development should be used. Stone, brick, tile, stucco, wood siding, board and batten, lap siding not exceeding 8 inches in least dimension, wood shingles, and exposed wood structural members are encouraged in natural colors or earth tone finishes.
2. All exposed sheet metal and flashing shall be painted or treated to harmonize with the adjacent field colors.
3. Window and skylight casing materials are to be consistent with building architecture, materials and colors. Skylight casings must be painted or treated to harmonize with adjacent field colors. Skylights are to be flat lenses or low pyramid type and have dark colored exterior lenses.
4. Exterior colors should be subdued natural colors or earth-tone finishes which reflect and compliment the hillside setting of the subdivision and which do not stand out from the site. Inappropriate exterior colors include some bright and pastel colors such as pinks and peaches and colors which are hot or reflective such as the primary colors.
5. All retaining walls and concrete exposed to downhill views should be colored, textured or painted to harmonize with adjacent soil or plant colors or be covered with redwood, brick, stucco, or stone, or may be screened by landscaping to reduce visual impacts.
6. Areas of glass larger than 36 square feet should be subdivided into smaller panes to reduce visual impacts. Use of low reflective glass is encouraged.



EXAMPLE ARCHITECTURAL ELEMENTS

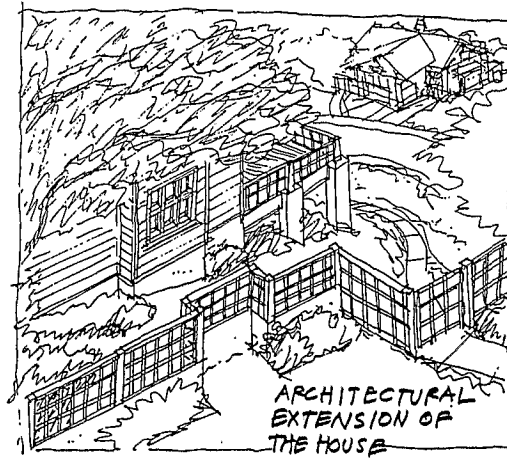
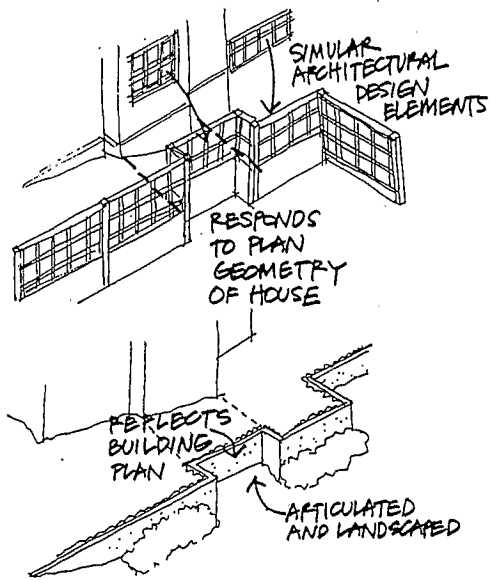
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Fenestration and Entry Elements

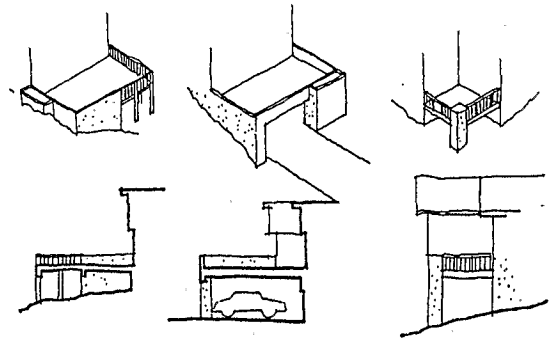
The design of entryways is intended to be a defining feature and characteristic of the Strawberry Vista neighborhood. Entries enhanced by porches, overhangs, trellises, and stairways are encouraged.

Windows and door openings are to help provide shadow lines and relief in house facades. Deep recesses, projections and canopies are encouraged.

STRAWBERRY VISTA DESIGN GUIDELINES



FENCES, WALLS AND DECKS



EXTENSION OF WALLS

OVER GARAGE

CORNER OR SLOT

EXAMPLE WALL AND FENCE DIAGRAMS

EXAMPLE DECKS

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Decks, Walls and Fences

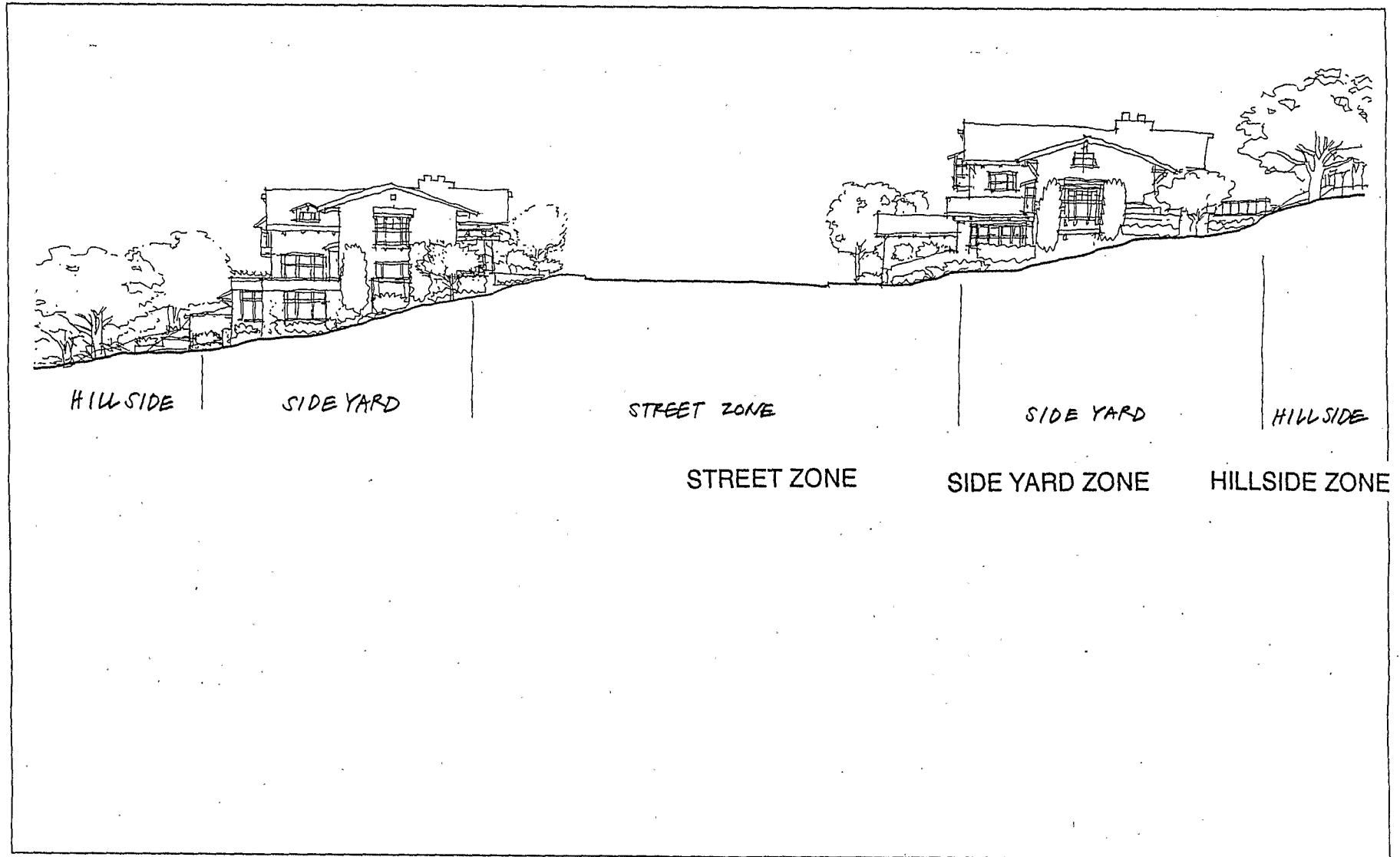
Decks walls and fences are to be designed as though they are an extension of the architectural concept of the house. "Tack-on" decks and fences of different materials and the appearance of an afterthought should not be allowed.

7. Exterior lighting may be installed for safety and security purposes only. Entry lighting for safe access to homes is consistent with this guideline. Other than entry lighting, exterior lighting shall be unobtrusive and maintain privacy through the use of hooded or shielded, low-level, low wattage light fixtures which cast light in a downward direction. Decorative lighting to highlight a structure is prohibited.
8. Fence materials should consist of building materials which are compatible with the residence. Wood is encouraged as a fence material. Other fencing materials which may be acceptable include masonry, colored concrete, decorative wrought iron for use in small areas, or other materials suitable to the site and compatible with the residence. Other than natural wood fencing, any fence proposed for the front and side yards should be treated, stained or painted to match or compliment trim and or body colors. Chain link, open wire, corrugated metal, and plastic or reed materials are not encouraged for use in fencing. Wire added for wildlife exclusion purposes may be permitted when used in conjunction with otherwise acceptable fences.
9. Decking materials and colors should be compatible with the residence.
10. Roofing materials should be either concrete tile, flat clay tile, slate, non-reflective metal, or composition or fiberglass shingles or other material which meets the requirements of applicable fire prevention codes related to roofing material and is acceptable to the Community Development Agency as consistent with the design and materials of the site and the proposed residence. Suggested colors for roofing include wood tones, earth tones, gray or black. Roofing materials which are reflective, such as glazed tile or metal, should be avoided except as accent materials.
11. Significant areas of flat or nearly flat roofs which are visible from either off-site or adjacent properties and large expanses of highly reflective glazing shall be discouraged.
12. No fence of any material may be erected within any designated drainage or landscape easement, except that, within the private landscape reserve of Lots 2 through 25, retaining walls and fencing may be placed 10 feet inside the reservet adjacent to the development envelope, where it is approved through the design review process, and where it does not adversely affect the screening of the landscaping easement, nor the maintenance of landscaping or drainage facilities located within the rear yard.

E. LANDSCAPING

Landscaping will be required for all lots within the subdivision and the entire downslope portion of the lots shall be landscaped at time of occupancy. The purpose of the landscaping is to control erosion, to reduce the visual impact associated with individual homes when viewed from off-site vantages, and to create a visually pleasing streetscape from the subdivision. Because of the high off-site visibility of the subdivision, downslope landscape materials should include vegetation which at the time of installation will provide visual relief and within a short time frame thereafter will soften the visual impact of the residence. Specific materials proposed must conform with accepted landscape materials outlined by the Marin Municipal Water District as drought tolerant as well as species which are native, frost tolerant, and fire resistive. Landscape principles for the site are illustrated in Figure E.1.

FIGURE E.1



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Landscape Zones

The Guidelines define three zones for planting lots. The street zone allows planting that is more personalized and garden-like. The side yards can be low and moderate height planting that frames architectural features in the homes. The hillside zones require trees and planting more indigenous to Southern Marin hillsides.

STRAWBERRY VISTA DESIGN GUIDELINES

LANDSCAPE PRINCIPLES

1. **On-site landscaping should enhance the site and building design.**
2. **Landscaping should emphasize the use of trees and plants that are compatible with Southern Marin hillsides.**
3. **Landscaping should enhance the neighborhood and respect the neighborhood's primary view sheds.**

LANDSCAPE GUIDELINES

1. Landscaping Materials Existing trees and natural vegetation would be retained where possible. Street trees are strongly encouraged to enhance the continuity of residential streets. Trees recommended for use are described below. These trees or other visually compatible species are encouraged along street frontage in the Street Zone as illustrated in Figure E.1. The Guidelines described in Figure E.1 should be used by home builders in developing their landscape plans. Trees planted within 20 feet of the nearest street component (including but not limited to curbs, gutters, sidewalks, and pavement) must be approved by the Marin County Public Services Agency, and shall not include species such as alders, sycamores, and redwoods which are detrimental to the integrity of roadway components. Recommended street trees include the following: ginkgo (for color and slow growth to prevent view blockage), especially encouraged along Neider Lane; chinese pistache (for color) especially encouraged on Inez Lane and Vista Real; scarlet oak (not red oak) especially encouraged along Vista Del Sol (for color). Tulip trees may also be appropriate.

Landscape areas added to individual lots shall include approximately 50% California native species, shall minimize turf grasses to 25% or less of the total landscape area, and shall consist of drought-tolerant fire, and frost tolerant species consistent with plants approved by the Marin Municipal Water District. Live Oak and Bay Laurel are recommended where appropriate. At least 80% of all plantings along drainage ditches shall be evergreen species, to minimize accumulation of vegetative debris within ditches and downstream drains.

2. Landscaping Height and View Restrictions Except for existing trees and vegetation, trees and other added landscape vegetation shall be so situated on the Lot, that the estimated mature height for the species tree or vegetation shall not cast a shadow to a distance greater than 20 feet (6.1 meters) past the Lot property line on December 21, between the hours of 9am and 3pm Pacific Standard Time. This restriction does not apply to flagpoles and similar objects which obstruct little light and which are needed and situated for reasonable use of the property in a manner consistent with other conditions of these Guidelines. Frontage features such as fences, shrubs, retaining walls, etc. shall be designed and situated so as not to impede sight distance between the driveway and approaching motorists. The location of plantings along the rear property line of Lot 41 shall be located downhill approximately ten feet, and the plant specimens for installation within this lot shall be such that, at their maximum natural height, will not block views from adjacent, upslope condominiums.
3. Landscape Easement. The landscape easements and reserves on Lots 2 through 25 are the private property of individual Lot owners, and are not to be accessed by the general public or adjacent property owners. These easements and reserves shall include the area of the Strawberry Vista Subdivision Lots remaining after adjustment of the property line adjoining the Strawberry Manor

Subdivision and shall not include the area of lands deeded to adjacent property owners to resolve property line encroachments. The measurement of the easement and reserve width for Lots 2 through 25 shall be measured from the property line established by the original Strawberry Manor Subdivision Survey established in 1948 by Strawberry Manor Subdivision Surveyor, Mr. J.C. Oglesby as depicted on the subdivision final map, and not from the new property lines established by settlement of various property line encroachments with adjacent property owners.

4. Landscape Maintenance The drainage and landscape easement landscaping on lots 2 through 25 shall be maintained by the Subdivider prior to the sale of individual lots. Permanent maintenance and or replacement of this landscaping is the responsibility of individual homeowners. The Strawberry Vista Homeowners' Association shall be responsible for landscape maintenance in common areas.
5. Landscaping Within Easement Areas Landscaping and planting shall not be placed or permitted to remain in easements provided for installation and maintenance of utilities and drainage facilities which may damage or interfere with such installation and maintenance or which may change the direction for flow of drainage channels in the easements, or which may obstruct or retard the flow of water through drainage channels in the easements.
6. Landscape Terracing Extensive terracing and retaining walls or pony walls shall be discouraged. Terracing for front and rear landscaped yards may be permitted with incremental steps. Pads for tennis courts and swimming pools are discouraged on steep slopes. Where allowed in the subdivision, retaining walls shall be of minimum height and be finished with stone or earth-colored materials and shall be broken into smaller components and terraces and screened with landscaping to break up wall mass. Spas, lap pools, or lawns on sloped lots may be acceptable if these Guidelines can be achieved.

F. OTHER GUIDELINES

1. Open Space Pedestrian Trails Open space pedestrian trails are available as provided by the Strawberry Recreation District
2. Fire Department Access Roads Maintenance of fire access roads on the Open Space parcel shall be the responsibility of the open space parcel property owner. Maintenance of the fire access driveway located on Lots 25/26 shall be the responsibility of the property owners of Lots 25 and 26, for the portion of the driveway located on each respective property. Maintenance of the fire access driveway on Lot 50 shall be the responsibility of the property owner of Lot 50. Maintenance of the fire gates for all fire access roads shall be the responsibility of the Strawberry Vista Home Owner's Association.
3. Fire Sprinkler Systems All residential units must include fire sprinkler systems for fire suppression.
4. Water Conservation Water conservation measures shall comply with the provision of Marin Municipal Water District rules and regulations in effect at the time water service is granted. The District requires ultra-low-flow toilets not to exceed 1.6 gallons per flush, shower heads that use not more than 2.75 gallons per minute, kitchen and lavatory faucets that use not more than 2 gallons per minute, and pressure-reducing valves set to maintain a maximum of 50 psi

static pressure at the highest fixture within the structure. Drought tolerant landscaping and drip irrigation shall be used except where demonstrated to be infeasible.

15. Drainage systems All construction shall assure drainage in such a manner that it will avoid damage to adjacent properties and to reduce runoff. Impervious surfaces shall be minimized to reduce runoff. Slope repair subdrains which are located within individual lots are to be identified in design review plans that must show how subdrains will be protected from damage by residential development.

**ATTACHMENT ONE
TABLE OF STANDARDS**

Lot	Existing Parcel Sqft	Adjustment to Parcel Area (1)	Adjusted Parcel Area	Maximum Floor Area (.30 FAR)	Maximum Accessory Structure Floor Area (0.5 FAR)	Garage Area Exempt from FAR
1	4,743		4,743	1,423	237	500
2	13,088		13,088	3,926	654	500
3	13,383	73	13,456	4,037	673	500
4	12,817	565	13,382	4,015	669	500
5	12,664	386	13,050	3,915	653	500
6	12,666		12,666	3,800	633	500
7	12,175	302	12,477	3,743	624	500
8	11,485	74	11,559	3,468	578	500
9	11,231	347	11,578	3,473	579	500
10	11,367	425	11,792	3,538	590	500
11	11,669	492	12,161	3,648	608	500
12	11,602	244	11,826	3,548	591	500
13	11,912	204	12,116	3,635	606	500
14	12,804	96	12,900	3,870	645	500
15	12,986		12,986	3,896	649	500
16	12,766	223	12,989	3,897	649	500
17	11,579	504	12,083	3,625	604	500
18	11,322	119	11,441	3,432	572	500
19	10,755		10,755	3,227	538	500
20	13,234		13,234	3,970	662	500
21	13,779		13,779	4,134	689	500
22	13,067		13,067	3,920	653	500
23	11,288		11,288	3,386	564	500
24	9,412		9,412	2,824	471	500
25	8,984	-717	8,267	2,480	413	500
26	22,707	-9,690	13,017	3,905	651	500
27	16,511		16,511	4,500	826	500
28	16,208		16,208	4,500	810	500
29	11,677		11,677	3,503	584	500
30	16,154		16,154	4,500	808	500
31	17,502		17,502	4,500	875	500
32	12,399		12,399	3,720	620	500
33	10,236		10,236	3,071	512	500
34	11,673		11,673	3,502	584	500
35	12,378		12,378	3,713	619	500
36	12,266		12,266	3,680	613	500
37	13,778		13,778	4,133	689	500
38	15,134		15,134	4,500	757	500
39	15,121		15,121	4,500	756	500
40	14,783		14,783	4,435	739	500
41	14,619		14,619	4,386	731	500
42	10,304		10,304	3,091	515	500
43	8,301		8,301	2,490	415	500
44	10,340		10,340	3,102	517	500

Lot	Existing Parcel Sqft	Adjustment to Parcel Area (1)	Adjusted Parcel Area	Maximum Floor Area (.30 FAR)	Maximum Accessory Structure Floor Area (0.5 FAR)	Garage Area Exempt from FAR
45	11,923		11,923	3,577	596	500
46	12,689		12,689	3,807	634	500
47	10,917		10,917	3,275	546	500
48	12,642		12,642	3,793	632	500
49	15,951		15,951	4,500	798	500
50	12,583	-2,992	9,591	2,877	480	500
51	63,146		63,146	4,500	3,157	500
52	22,693	-4,894	17,799	4,500	890	500
53	10,564		10,564	3,169	528	500
54	8,324		8,324	2,497	416	500
55	9,466		9,466	2,840	473	500
56	10,937		10,937	3,281	547	500
57	8,551		8,551	2,565	428	500
58	8,415		8,415	2,525	421	500
59	8,887		8,887	2,666	444	500
60	9,845		9,845	2,954	492	500
61	10,304		10,304	3,091	515	500
62	10,046		10,046	3,014	502	500
63	12,197		12,197	3,659	610	500
4/1	6,552		6,552	1,966	328	500

(1) For lots 3 to 5, 7 to 14, 16 to 18 and 25, the total lot area used for FAR calculation is adjusted to reflect parcel sizes prior to lot line adjustments with neighboring property owners.

For lots 25, 26, and 50-52, the total lot area used for FAR calculations is adjusted downward to subtract the land area encumbered by open space and public access.

(2) Maximum principal structure area is 4,500 sq.ft.

NOTE: THE FIGURES IN THIS TABLE DO NOT CONSTITUTE AN ENTITLEMENT.

These figures are a general interpretation of entitlement language. Actual allowable development will be determined through the design review process on individual parcels.